



**1 Flaen Road, Flamborough, YO15 1QF**

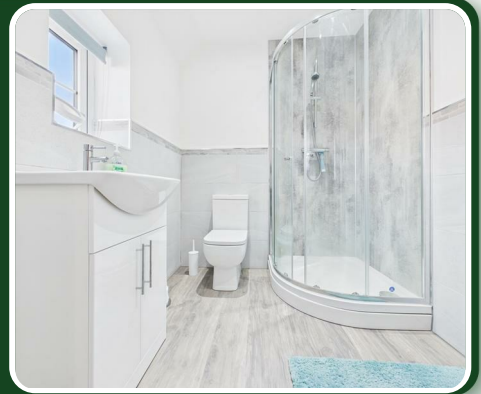
**Price Guide £365,000**



# I Flaen Road

Flamborough, YO15 1QF

**Price Guide £365,000**



Welcome to Flaen Road, in a small development built by a local builder, in the historical coastal village of Flamborough, this three double bedroom detached house, built in 2020, presents an exceptional opportunity for those seeking a modern and spacious family home. Flamborough is famous for its spectacular chalk cliffs with colonies of seabirds and two lovely beaches.

Spanning an impressive 1,451 square feet, the property boasts a thoughtful layout that seamlessly combines contemporary design with a light and airy atmosphere.

The property comprises an inviting reception room, perfect for both relaxation and entertaining. The well-appointed kitchen is an ideal space for family gatherings. The three generously sized bedrooms offer ample space for rest, while the stylish bathroom caters to all your needs.

This property offers ample private parking for 2 - 3 cars and a good size garage, ensuring convenience for both residents and guests.

The house is situated in close proximity to the village church, near open countryside, allowing residents to enjoy the serene surroundings while still being within easy reach of local amenities, shops and primary school. With no ongoing chain, this home is ready for you to move in and make it your own.

Don't miss the chance to make this delightful house your new home.

## Entrance:

6'0" x 4'6" (1.83m x 1.39m)

Composite door into inner hall, central heating radiator.

## Lounge:

23'7" x 11'6" (7.21m x 3.51m)

A spacious double aspect room, inset electric cast iron fire with realistic flame effect, upvc double glazed window, two central heating radiators and upvc double glazed French doors onto the rear garden. The chimney is a class 1 flue meaning this room could have an open fire if required.

## Kitchen/diner:

23'6" x 11'6" (7.18m x 3.51m)

A spacious room fitted with a range of modern base and wall units, stainless steel one and a half sink unit, electric oven, gas hob with stainless steel extractor over. Part wall tiled, gas combi boiler, under

cupboard lighting, integrated fridge/freezer, dishwasher and washing machine. Two upvc double glazed windows and two central heating radiators.

## Wc:

5'1" x 3'0" (1.57m x 0.93m)

Wc, wash hand basin with vanity unit, extractor and central heating radiator.

## Rear hall:

6'3" x 3'1" (1.92m x 0.94m)

Central heating radiator and upvc double glazed door onto the rear garden.

## First floor:

A spacious landing, upvc double glazed window and central heating radiator.

Access to large loft space by drop down ladder.

## Bedroom:

16'7" x 11'5" (5.07m x 3.48m)

A spacious front facing double room, built in storage cupboard, two upvc double glazed windows and central heating radiator.

## En-suite:

6'2" x 6'0" (1.88m x 1.85m)

Comprises a modern suite, shower cubicle with plumbed in shower, wc and wash hand basin with vanity unit. Part wall tiled, shower panelling, extractor, upvc double glazed window and chrome ladder radiator.

## Bedroom:

11'10" x 11'6" maximum size (3.63m x 3.51m maximum size)

A rear facing "L" shaped double room, upvc double glazed window and central heating radiator.

## Bedroom:

11'1" x 9'3" (3.38m x 2.84m)

A front facing double room, upvc double glazed window and central heating radiator.



### Bathroom:

11'5" x 6'5" (3.50m x 1.98m)

Comprises a modern suite, bath, shower cubicle with plumbed shower, wc and wash hand basin with vanity unit. Part wall tiled, shower panelling, extractor, upvc double glazed window and stainless steel ladder radiator.

### Exterior:

To the front of the property is a open plan garden with lawn.

To the side elevation is a private driveway with extensive parking leading to the garage.

### Garden:

To the rear of the property is a good size south facing garden. Paved patio to lawn with borders of numerous evergreen shrubs and bushes.

### Garage:

22'3" x 11'4" (6.78m x 3.45m)

A large (21ft x 11ft4") brick built single garage, up and over door, power, lighting, upvc double glazed window and upvc double glazed courtesy door. Plenty of room for a work bench.

### Notes:

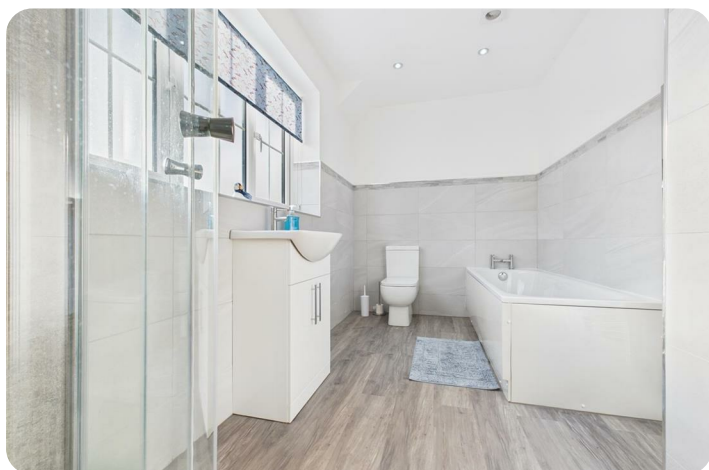
Council tax band: D

### Purchase procedure

On acceptance of any offer in order to comply with current Money Laundering Regulations we will need to see both I.D and proof of funds before we can progress with the sale and send the memorandum of sale.

### General Notes:

All measurements are approximate and are not intended for carpet dimensions etc. Nicholas Belt (Estate Agency) Ltd have not tested any gas or electrical heating systems, individual heaters, appliances, showers, glazed units, alarms etc. Therefore purchasers should satisfy themselves that any such item is in working order by means of a survey, inspection etc before entering into any legal commitment. **PURCHASE PROCEDURE:** If after viewing the above property you wish to purchase please contact our office where the staff will be pleased to answer any queries and record your interest. This should be done before contacting any Building Society, Bank, Solicitor or Surveyor. Any delay may result in the property being sold to another interested party and valuation fees and legal expenses are then incurred unnecessarily.



Road Map

Hybrid Map

Terrain Map



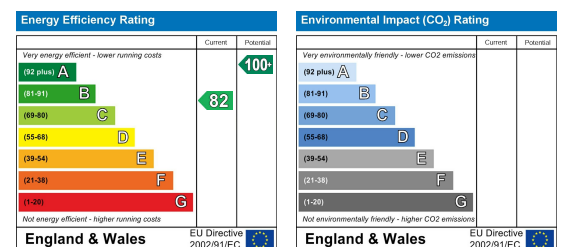
## Floor Plan



## Viewing

Please contact our Nicholas Belt Office on 01262 672253 if you wish to arrange a viewing appointment for this property or require further information.

## Energy Efficiency Graph



These particulars, whilst believed to be accurate are set out as a general outline only for guidance and do not constitute any part of an offer or contract. Intending purchasers should not rely on them as statements of representation of fact, but must satisfy themselves by inspection or otherwise as to their accuracy. No person in this firm's employment has the authority to make or give any representation or warranty in respect of the property.